

HISTORIC AND DESIGN REVIEW COMMISSION

May 04, 2022

HDRC CASE NO:	2022-242
ADDRESS:	527 E DEWEY PLACE
LEGAL DESCRIPTION:	NCB 2964 BLK 3 LOT 7 & E 12 FT OF 6
ZONING:	MF-33, H
CITY COUNCIL DIST.:	1
DISTRICT:	Tobin Hill Historic District
APPLICANT:	Jonathan Taylor/Champion Window Company
OWNER:	Margaret Halsema/HALSEMA MARGARET
TYPE OF WORK:	Porch enclosure
APPLICATION RECEIVED:	April 14, 2022
60-DAY REVIEW:	Not applicable due to City Council Emergency Orders
CASE MANAGER:	Claudia Espinosa

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to enclose the existing, rear covered porch.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. Openings—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. Doors—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- ii. Windows—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iii. Screens and shutters—Preserve historic window screens and shutters.
- iii. Storm windows—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Doors—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. New entrances—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. Glazed area—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. Window design—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. Muntins—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

- vi. Replacement glass—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. Non-historic windows—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. Security bars—Install security bars only on the interior of windows and doors.
- ix. Screens—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. Shutters—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. Existing porches, balconies, and porte-cocheres—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. Balusters—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. Floors—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Front porches—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. Side and rear porches—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. Replacement—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. Adding elements—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. Reconstruction—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

9. Outbuildings, Including Garages

A. MAINTENANCE (PRESERVATION)

- i. Existing outbuildings—Preserve existing historic outbuildings where they remain.
- ii. Materials—Repair outbuildings and their distinctive features in-kind. When new materials are needed, they should match existing materials in color, durability, and texture. Refer to maintenance and alteration of applicable materials above, for additional guidelines.

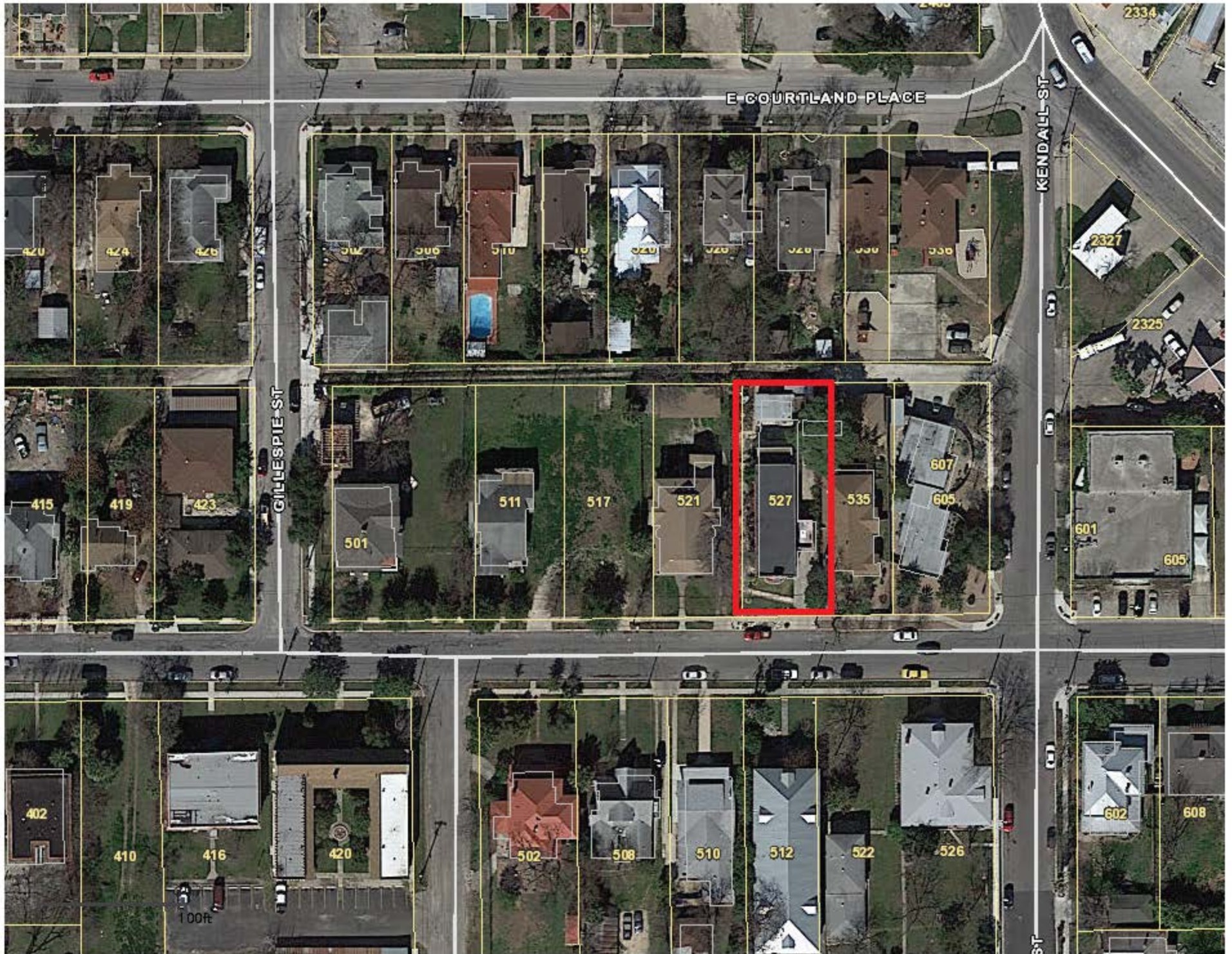
FINDINGS:

- a. The primary structure located at 527 E Dewey Place is a 1-story single-family home constructed circa 2003. The home features stucco, a flat roof, and vinyl windows.
- b. SCOPE OF WORK – The applicant has proposed to enclose the existing porch structure located at the rear of the property to create an enclosed sunroom. A Glass Kneewall Kit will be added to the north, east, and west elevations. The proposed windows and doors will feature aluminum frames. The overall footprint and roof form will not be modified. Generally, staff finds the proposed enclosure to be appropriate; however, staff finds that the enclosure should feature windows and doors with dark colored frames.

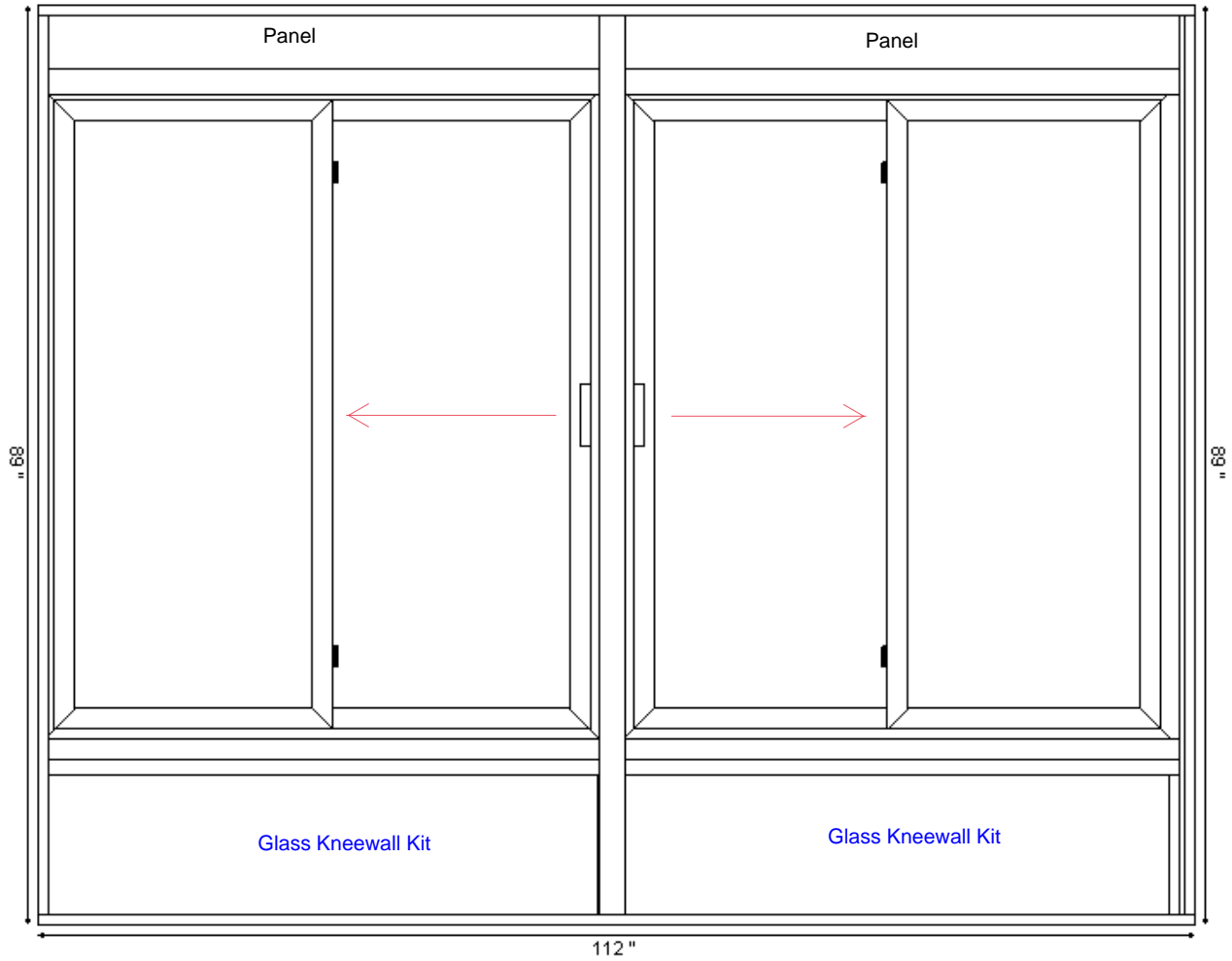
RECOMMENDATION:

Staff recommends approval based on finding b with the following stipulation:

- i. That the installed window and doors feature dark colored frames, or a non-manufacturer's white color.

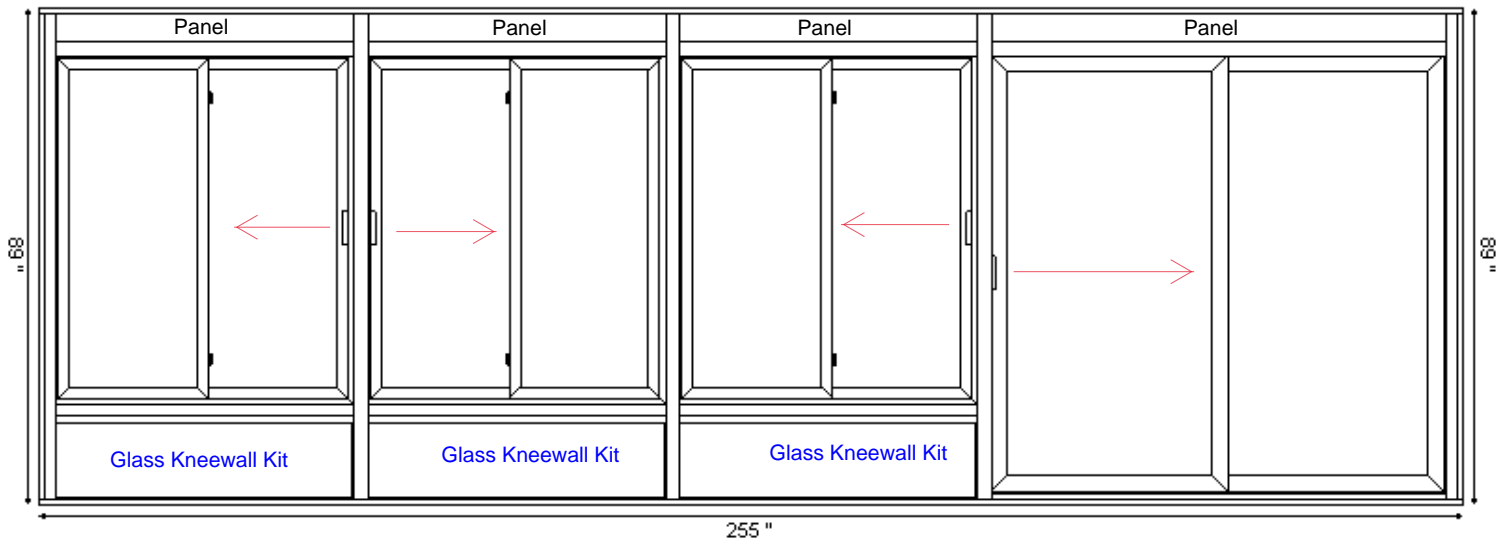


A Wall



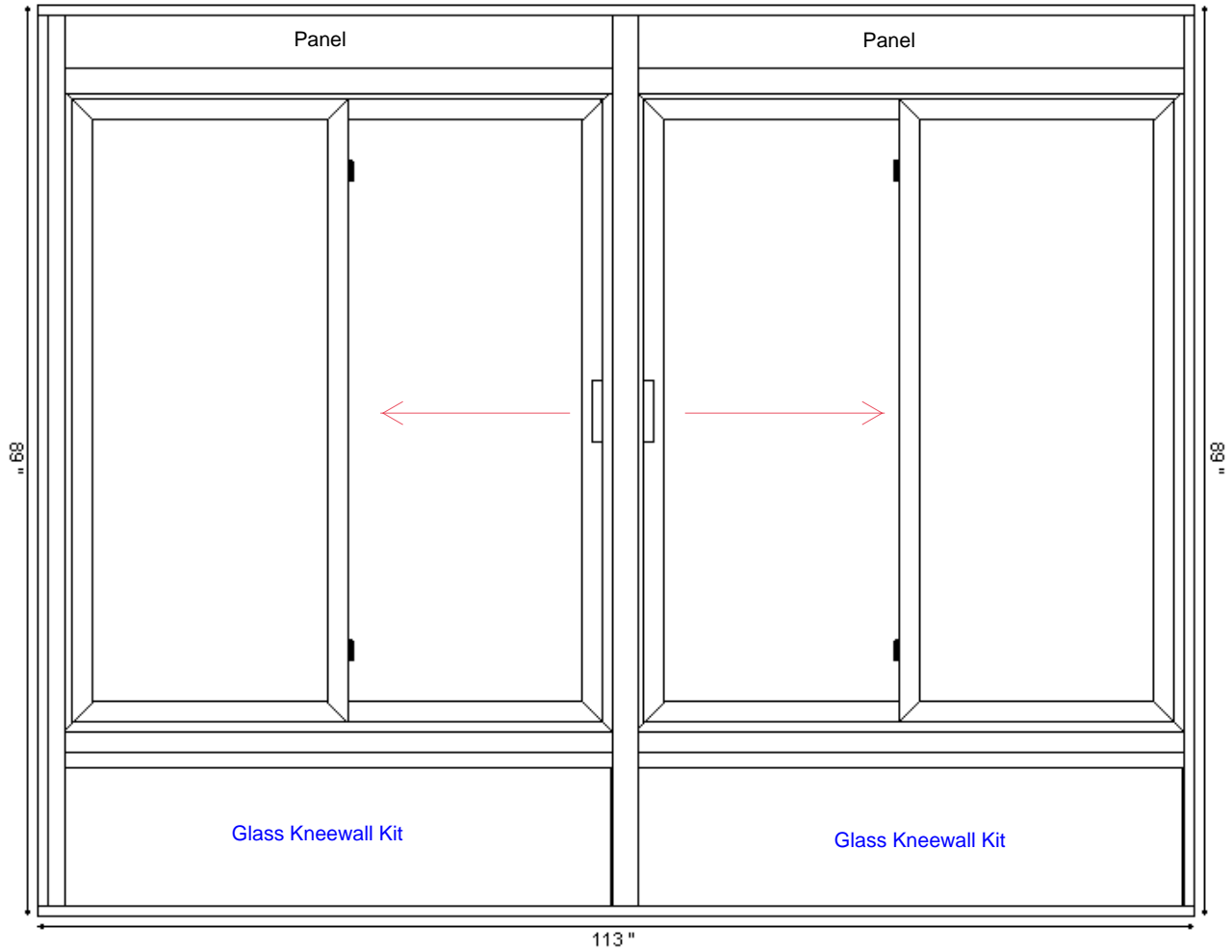
Dimensions
<div>Wall Width: 112.000 "</div> <div>Wall Height: 89.000 "</div>
Layout
<div>0" (Fascia) + 55.375" (2 Lite Window) + 0.5" (THERMAL H) + 55.375" (2 Lite Window) + 0" (Fascia) + 0.75" (Remainder - No Fill)</div>

B Wall

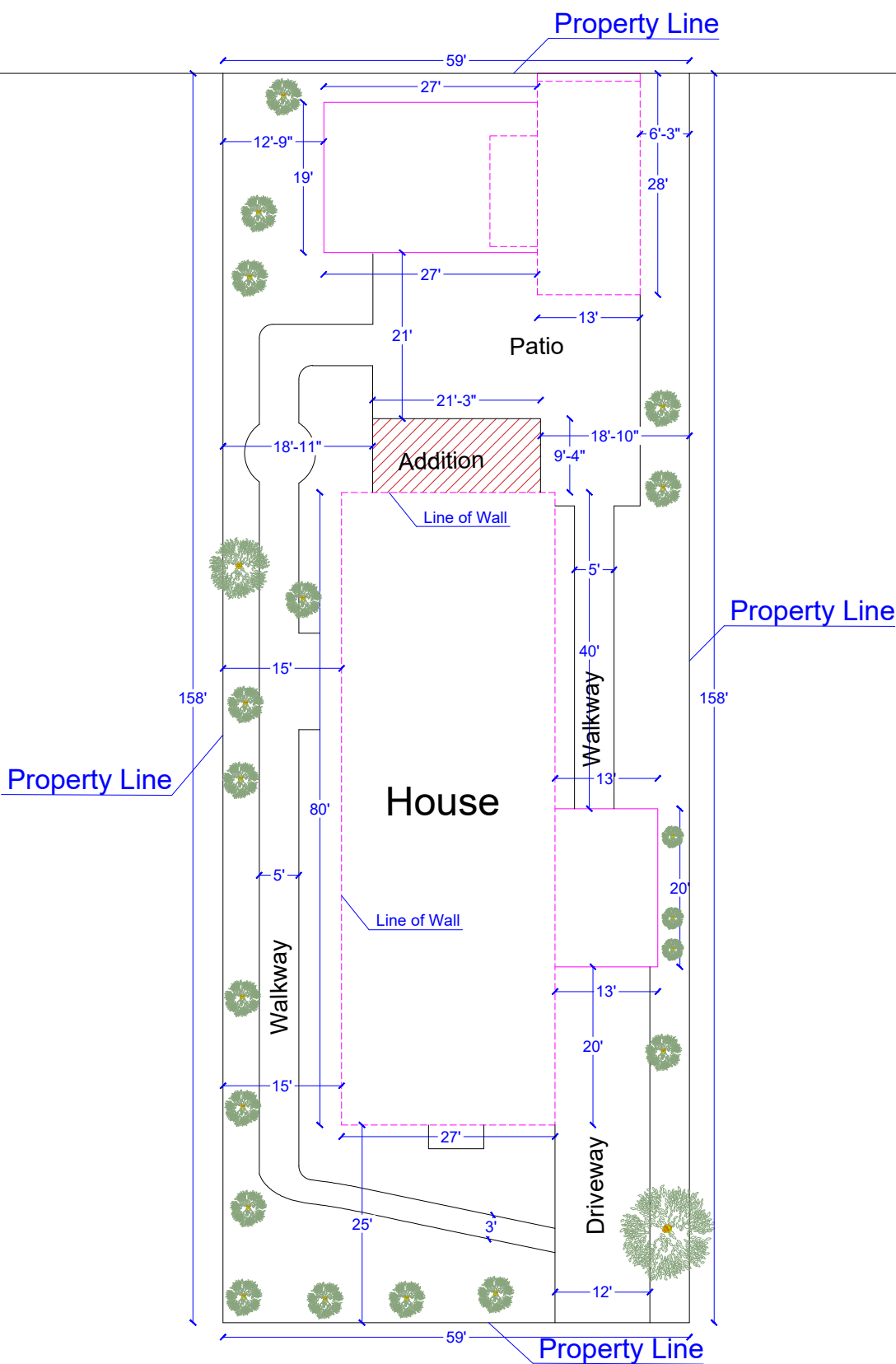


Dimensions
<p>Wall Width: 255.000 "</p> <p>Wall Height: 89.000 "</p>
Layout
<p>0" (Fascia) + 1.5" (Foam) + 0.5" (THERMAL H) + 55.375" (2 Lite Window) + 0.5" (THERMAL H) + 55.375" (2 Lite Window) + 0.5" (THERMAL H) + 55.375" (2 Lite Window) + 0.5" (THERMAL H) + 83.375" (2 Lite Door) + 0.5" (THERMAL H) + 1.5" (Foam) + 0" (Fascia)</p>

C Wall



Dimensions
<div>Wall Width: 113.000 "</div> <div>Wall Height: 89.000 "</div>
Layout
<div>0" (Fascia) + 1.75" (Sill) + 55.375" (2 Lite Window) + 0.5" (THERMAL H) + 55.375" (2 Lite Window) + 0" (Fascia)</div>



E Dewey Pl

Plot Plan for:	Owner:Halsema, Margaret	Lot: Scale: 1"=20'
	Address:527 E Dewey Pl	
Submitted by:	Subdivision:	Additional Information:Champion Window Company of San Antonio-Halsema-7250001618-San Antonio
	Parcel/Locator:02964-003-0070	







Sunroom Measure Form

Section 1

Measure Tech Name	Garrett Jackson
Factory Rep Name First Last	Richard Dilloway
Measure Date	02-28-2022
Division	San Antonio
Customer Name Last, First	Halsema, Margaret
Customer Email	margaret.halsema@teex.tamu.edu
Customer AX#	7250001618
Picture of Contract(s) and added rep sheets	

Sunroom Measure Form

Picture of Contract Zoomed in on top 2/3 of contract

CHAMPION 6021 Randolph Boulevard • San Antonio, TX 78233
210-584-1053 • F 210-584-1054
GetChampion.com

SUNROOM CONTRACT

To: Margaret Halsema
Address: 527 E Dewey Place
City: San Antonio State: TX Zip: 78212
Email: margaret.halsema@teex.tamu
Home Phone: _____ Cell/Other: 210-367-351
Champion Rep: Richard/Kevin Estimate Date: 2/25/22

CHAMPION AGREES TO MEASURE, MANUFACTURE OR FURNISH AND INSTALL THE FOLLOWING CUSTOM MADE PRODUCTS FOR THE AMOUNT STIPULATED BELOW:

☒ All-Season Vinyl Sunroom from nominal 6" components with outside dimensions of approximately:
A) 9'5" x B) 21' x C) 9'5"
☒ 3-Season Aluminum Sunroom from nominal 4" components with outside dimensions of approximately:
A) _____ x B) _____ x C) _____
☒ Aluminum Screen Room from nominal 2" components with outside dimensions of approximately:
A) _____ x B) _____ x C) _____
☒ Roof Only Patio Cover with outside dimensions of approximately:
A) _____ x B) _____ x C) _____

FLOOR SYSTEM
☒ On customer's existing concrete ☒ Slab ☐ Deck
☐ Tear out existing ☐ Slab ☐ Deck ☐ Roof ☐ Rails ☐ Screen ☐ Walls
☐ Other _____

Footer for existing slab _____
Pour new concrete slab with footers approx. _____
Pour new open concrete slab without footers approx. _____
Room deck approx. _____ Material _____
Open deck approx. _____ Material _____

WALLS
☒ Under customer's existing roof
Wall color ☒ White ☐ Tan ☐ Bronze
Leave existing siding on back wall _____
3/16" triple strength non-insulated glass _____
Double pane insulated Champion G1 glass _____
Argon gas-filled I.G. units (all-season room only) _____
Fixed glass knee walls location ☒ A ☒ B ☒ C
Knee wall with aluminum skin ☐ White ☐ Tan ☐ Bronze
Knee wall with vinyl skin ☐ White ☐ Tan ☐ Bronze
☒ Build up ☐ Build down Location ☒ A ☒ B ☒ C
Fixed transom glass Location ☐ A ☐ B ☐ C
Cap existing posts _____
Key lock _____

FLOOR SYSTEM
☒ Railing: Approx. _____ lin. ft. Material _____
☒ Skirting: Approx. _____ lin. ft. Material _____
☒ Insulate under existing wood floor
☒ 3/4" sub floor
☒ Polydeck
☒ Insulated floor
☒ Cap bottom ☐ Yes ☐ No ☐ Other _____

SPECIALIZED DOORS
☒ Storm: Outswing Color _____ Style _____
☒ Left Hinge ☐ Right Hinge ☐ ISLO Location ☐ A ☐ B ☐ C
☒ Entry: ☐ Inswing ☐ Outswing Color _____ Style _____
☒ Left Hinge ☐ Right Hinge ☐ ISLO Location ☐ A ☐ B ☐ C

☐ See attached drawing
Layout sketch _____ OK
X = ACTIVE O = FIXED
_____ = FULL VIEW
_____ = KNEEWALL

HOUSE ☐ Use Existing

ROOF
☒ Studio roof system color ☐ White ☐ Tan ☐ 4" ☐ 6"
☒ Gable roof system color ☐ White ☐ Tan ☐ 4" ☐ 6"
☒ Fixed glass ☐ Gable Glass ☐ Wing Glass ☐ Number of pieces _____
☒ Gable tie-in (includes framing shingles and saddle fill) _____

Champion's roof system is a nominal 4" or 6" expanded poly-styrene insulated foam panels with an embossed laminated aluminum skin and thermally broken I-beams.
Interior roof slopes to approx. _____ ft. Attaches to house ☐ Wall Mount ☐ Gable Tie-In ☐ Dormer Tie-In ☐ Fascia Board Approx. mounting height _____ ft.
Custom glass to take approx. _____ days after structure completed. Cut back overhang ☐ Yes ☐ No

OTHER
☒ Heat/Cool unit _____
☒ Code compliant electrical package: Wall sockets _____ Wall switch(es) _____
☒ Hook ups of customer provided ceiling fan (with wire mold) _____

OTHER
☐ Additional devices _____
☐ Exterior work _____

TWO YEARS FREE IN HOME SERVICE. There is a standard \$99 service-trip charge (which may be changed based on inflation and distance) after two years following install. Unless otherwise stated, customer is responsible for removing and replacing all window coverings, moving furniture, disconnecting and reconnecting alarm systems & sensors, and touching up paint or stain as needed. Customer is responsible for providing light fixture prior to the completion of sunroom structure.

☒ Champion to display a yard sign until 30 days after completion
☒ Customer Partnership Program

HDA Approval Needed ☐ YES ☒ NO
Buyer shall obtain all necessary approvals, and authorizations from HDA or local authorities.

Was home built prior to 1978? ☐ YES ☒ NO
The undersigned agrees to the terms and conditions of the Champion Lead Safe Work Practices and Lead Acknowledgement (if documents demonstrate the home was built prior to 1978).

BUYER'S INITIALS X MEX BUYER'S INITIALS X MEX BUYER'S INITIALS X MEX

COMMENTS: Includes all discounts

BUYER'S RIGHT TO CANCEL
BUYER MAY CANCEL THIS CONTRACT BY DELIVERING WRITTEN NOTICE TO THE SELLER AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION. BUYER MAY USE THIS CONTRACT AS THAT NOTICE BY WRITING "I HEREBY CANCEL" AT THE BOTTOM AND ADDING BUYER'S NAME AND ADDRESS. THE NOTICE MUST BE DELIVERED TO THE SELLER AT THE ADDRESS SHOWN ABOVE.

IMPORTANT NOTICE: If you sign this contract and you fail to meet the terms and conditions of this contract, you agree to pay the full amount of the contract.

Total Investment \$ 20153.00
Down Payment (Method C.C.) \$ 6050.00
Balance \$ 14103.00
Substantial Payment \$ 0
FINAL Balance Due upon completed installation \$ 14103.00
Method: ☐ Finance Plan # _____ ☒ Cash, Check or CH

Was room sold as "STANDARD" room

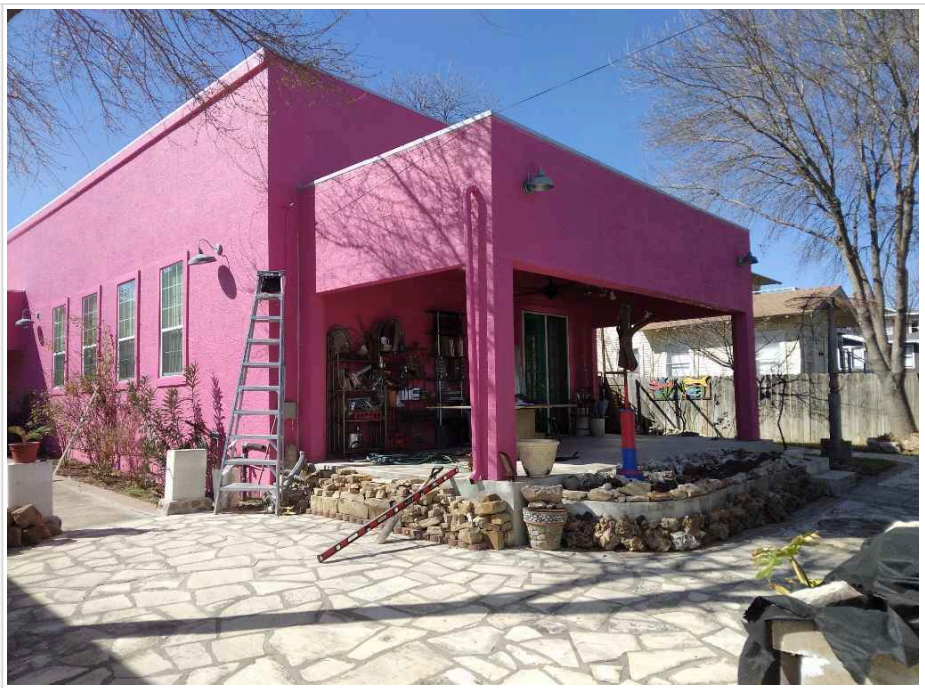
No

Section 12


Permitting Jurisdiction (Where do we apply for permit)

San Antonio, Historic District

Sunroom Measure Form

<p>Photo of where room is going on the house</p>	
<p>Measurement From corner of house start to start of room</p>	<p>2.0.ft</p>
<p>Which corner measured from</p>	<p>Left Corner</p>
<p>Measurement from sunroom to closest SIDE property line</p>	<p>18</p>
<p>Measurement from sunroom to closest REAR property line</p>	<p>36</p>
<p>Is Home on Public or Well Water</p>	<p>Public</p>
<p>Is Home on City Sewage or Septic</p>	<p>City Sewage</p>
<p>Are there any other detached structures on the property</p>	<p>Yes</p>

Sunroom Measure Form

Picture of detached structure	
Did you draw structure with distance from house and dimension	No
Is HOA Required?	No
What window /door openings are opening from home into new room (List all types)	Living Room
Are all windows/door openings drawn and labeled on measure sheet	Yes

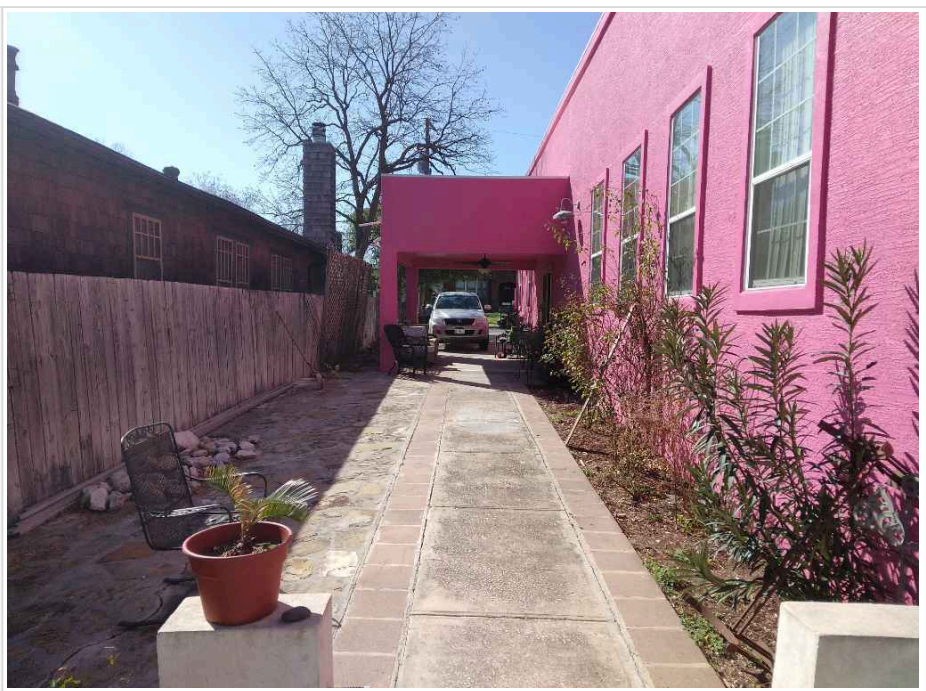

Section 2

Should this job go on hold?	No
Was this home built prior to 1978?	No

Section 3

Is there access to the surrounding yard?	Yes
Yard access gate size	3-4'

Sunroom Measure Form

<p>Pictures of yard access</p>	
<p>Did you discuss where to stage job materials?</p>	<p>Yes</p>
<p>Description of staging area</p>	<p>Side Drive Pad</p>
<p>Pictures of Staging area</p>	

Section 4

<p>Are installers doing any Demo?</p>	<p>N/A</p>
<p>Are we removing existing piers?</p>	<p>N/A</p>
<p>Total Deck Demo Sq ft</p>	<p>0sq ft</p>

Sunroom Measure Form

Aluminum Roof Demo Sq ft	0sq ft
Screen Wall Demo Sq Ft	0sq ft
Aluminum Patio Room Demo sq ft	0sq ft
Wood Wall Demo Sq Ft	0.0sq ft
Wood Roof Demo Sq Ft	0
Deck Board Demo Sq Ft	0.0sq ft


Section 5

Are we building room ON new deck or existing deck?	No
Room Deck or Existing Deck Sq Ft	0.0sq ft
Are we building Open Deck?	No
Open Deck Sq Ft	0 sq ft

Section 11

Are we adding deck options?	No
Replace Deck Boards Sq Ft	0.0sq ft

Section 6

Are we doing concrete work or demo?	No
Are we installing room on concrete?	Yes
Are we installing room on New Slab or Existing	Existing
Picture of existing slab location	

Sunroom Measure Form

Pictures of slab detail (cracks,
house attachment)



Sunroom Measure Form



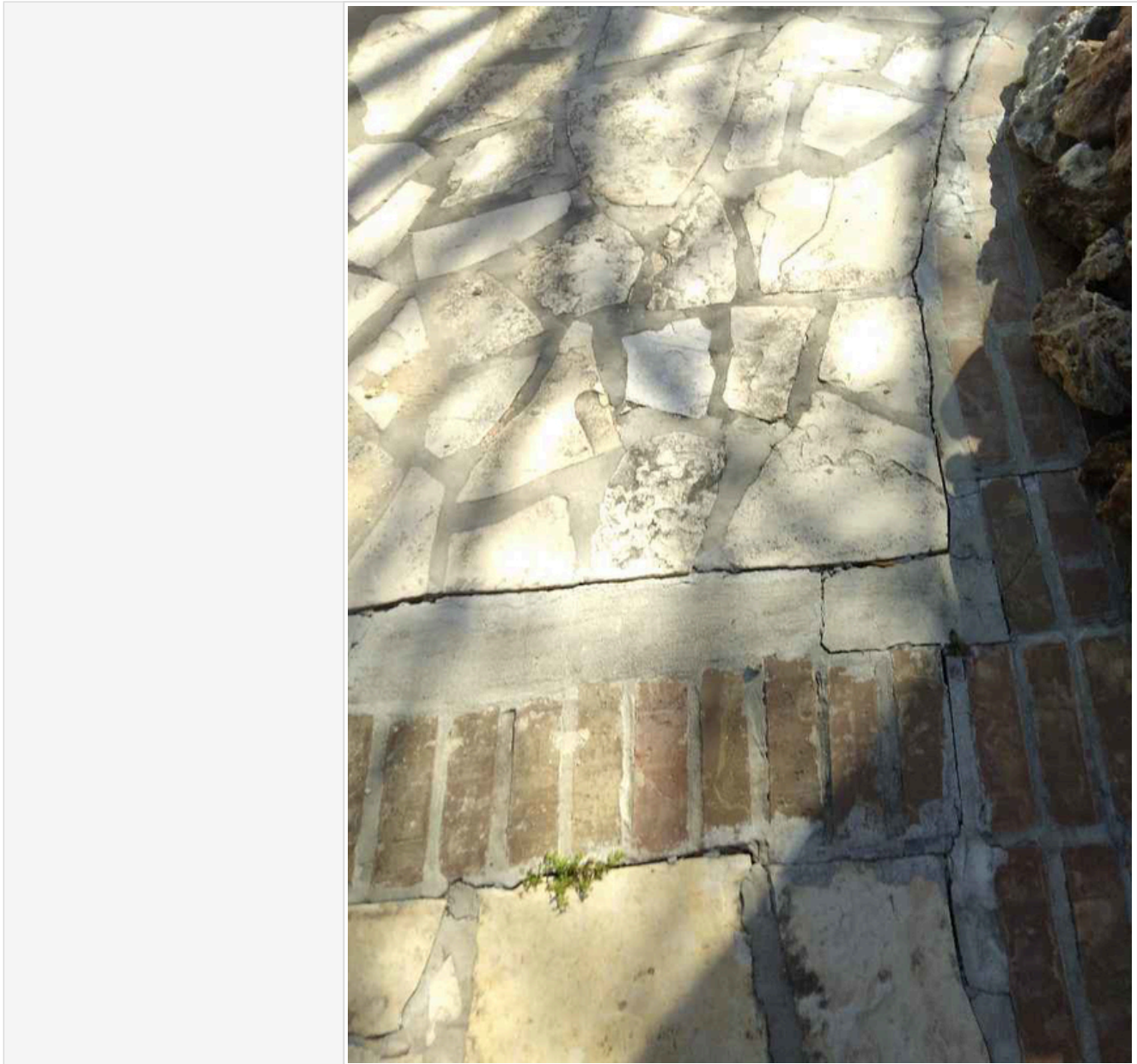
Sunroom Measure Form



Sunroom Measure Form



Sunroom Measure Form



Sunroom Measure Form



Sunroom Measure Form

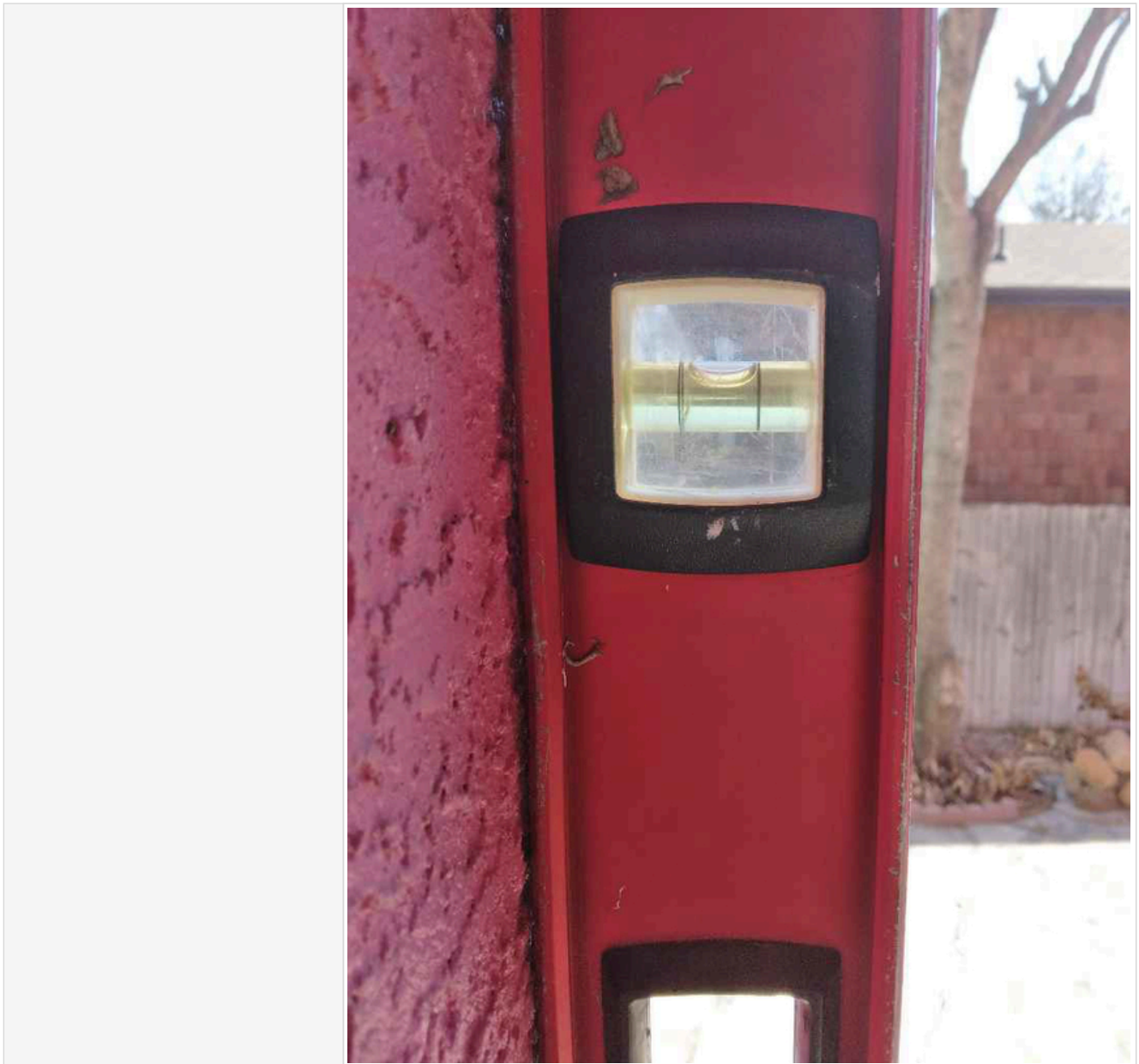


Sunroom Measure Form

Picture(s) of level on A,B,C wall



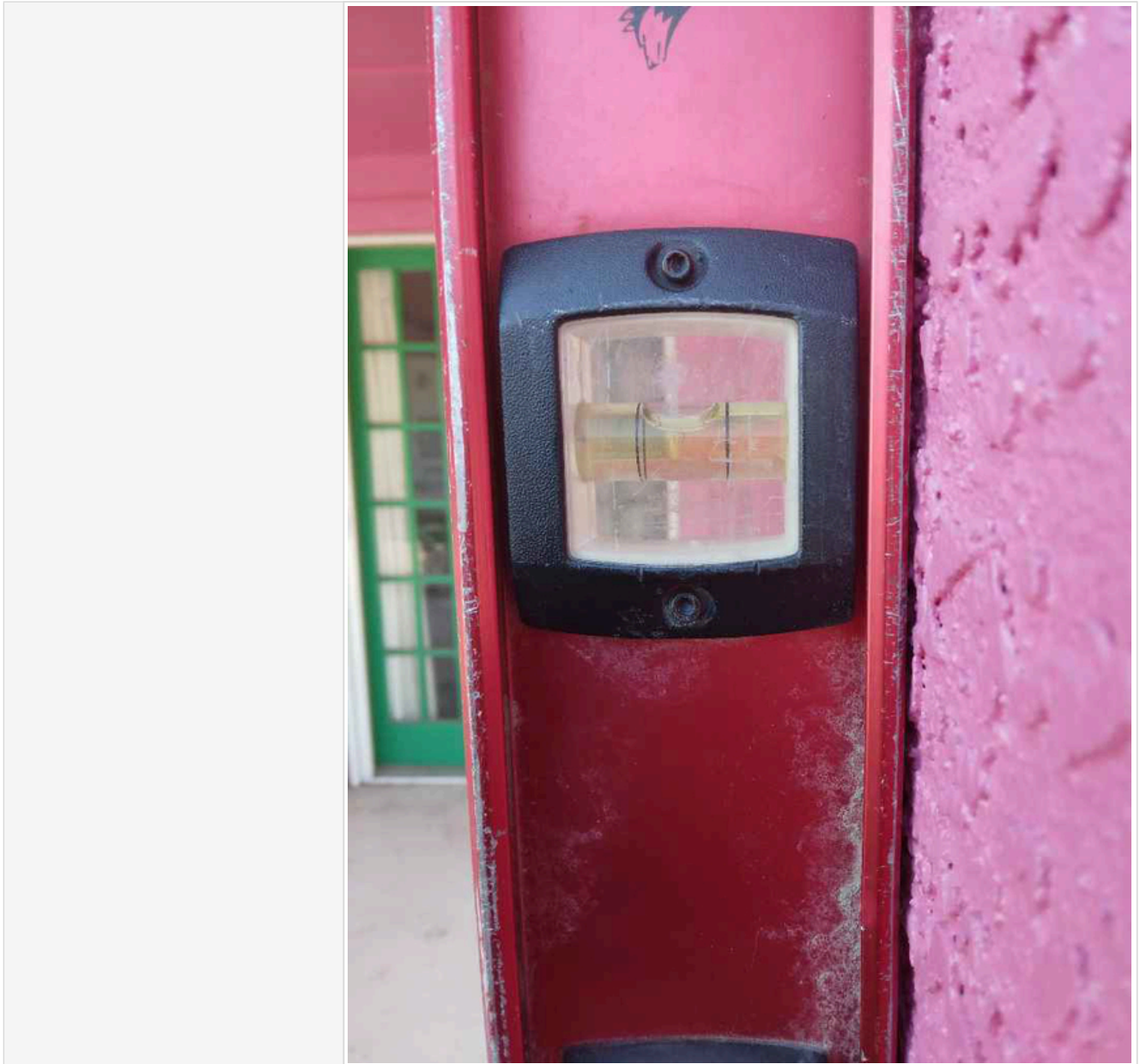
Sunroom Measure Form



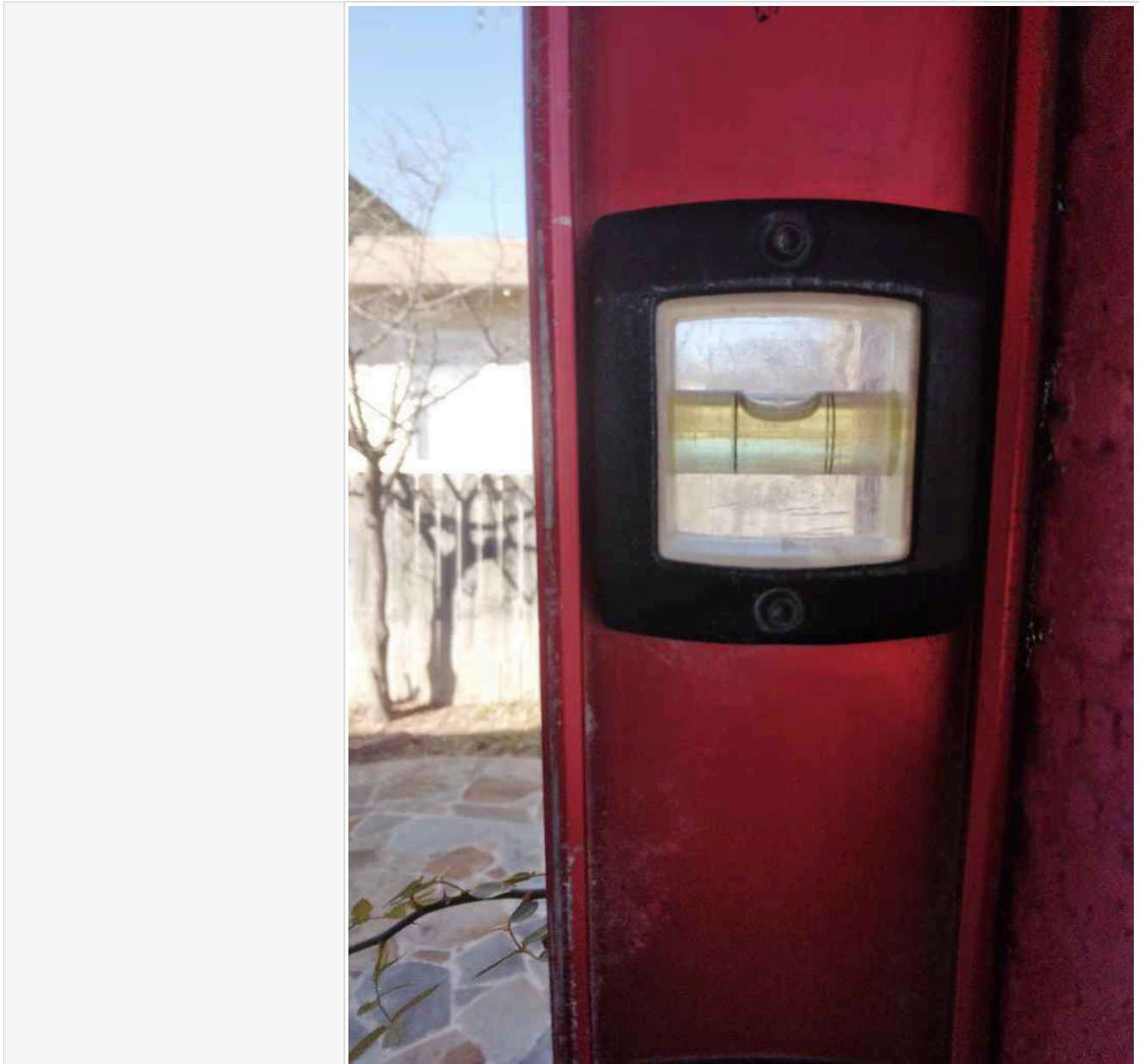
Sunroom Measure Form



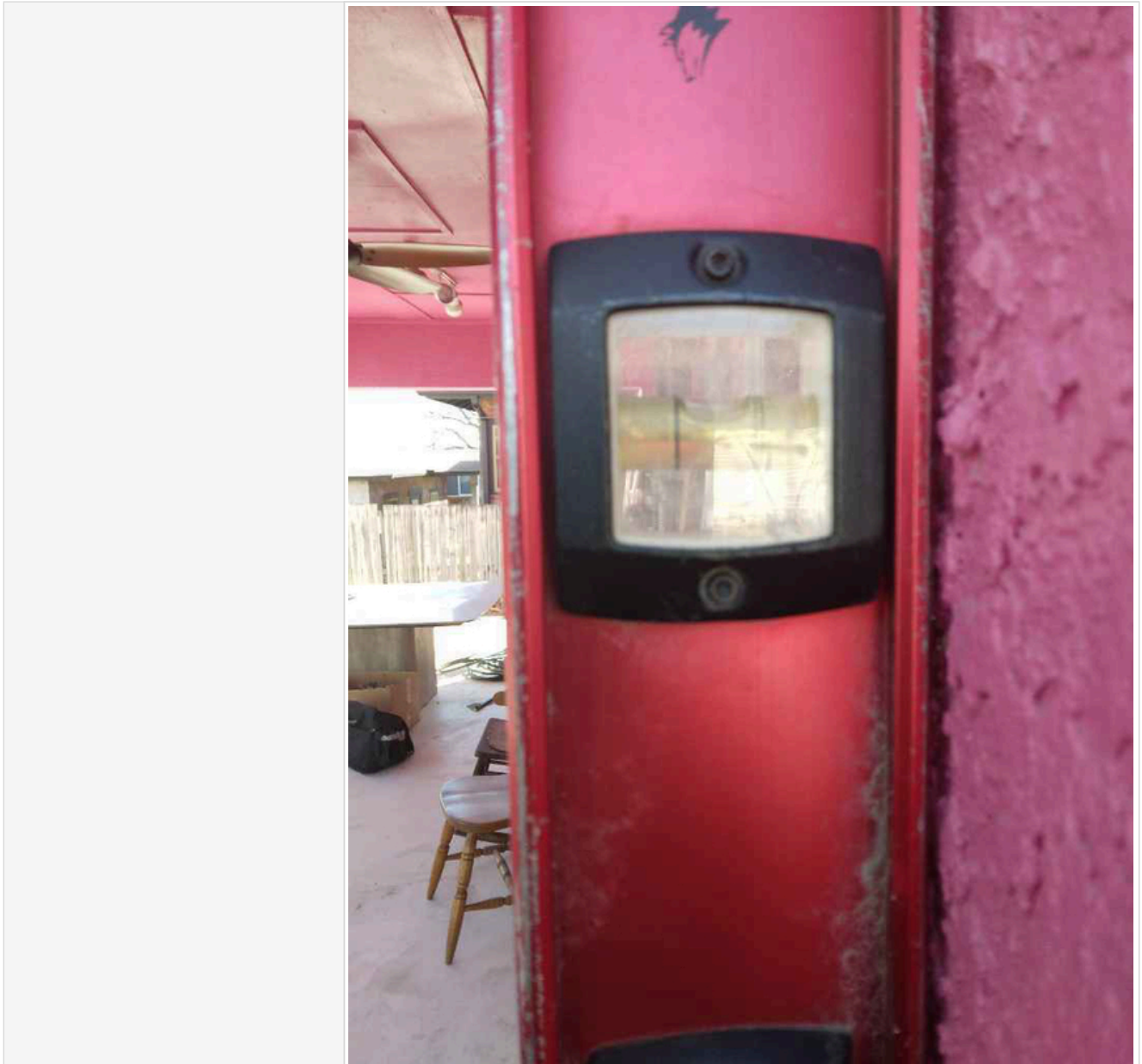
Sunroom Measure Form



Sunroom Measure Form



Sunroom Measure Form



Sunroom Measure Form

Picture of level at door location	
Do we need footings for exisging slab	No

Sunroom Measure Form


Picture of exposed footing (Dig down to verify)



Sunroom Measure Form



Sunroom Measure Form

	
	<p> 29.447427, -98.488309</p>

Section 7

Are we installing Walls	Yes
Wall Color	White
Wall Type	4" Aluminum Walls
Custom Glass	No
Entry door in 6" Room Walls?	N/A
Dog Door?	N/A

Sunroom Measure Form

Picture(s) Left Wall Attachment to house with mark



Sunroom Measure Form

Picture(s) Right wall attachment to house with mark



Do we need to match door opening with existing steps or sidewalk

Yes

Which Wall

B Wall

Measurement from house wall or Left corner to start of walkway or steps

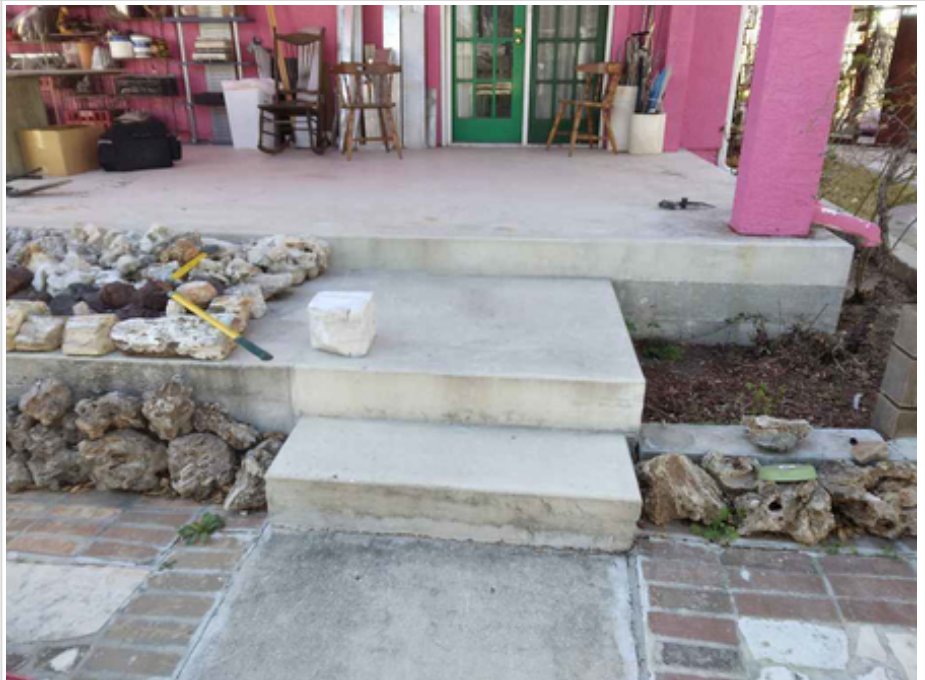
192.0 inches

Width of Steps or Walkway

55.0 inches

Sunroom Measure Form

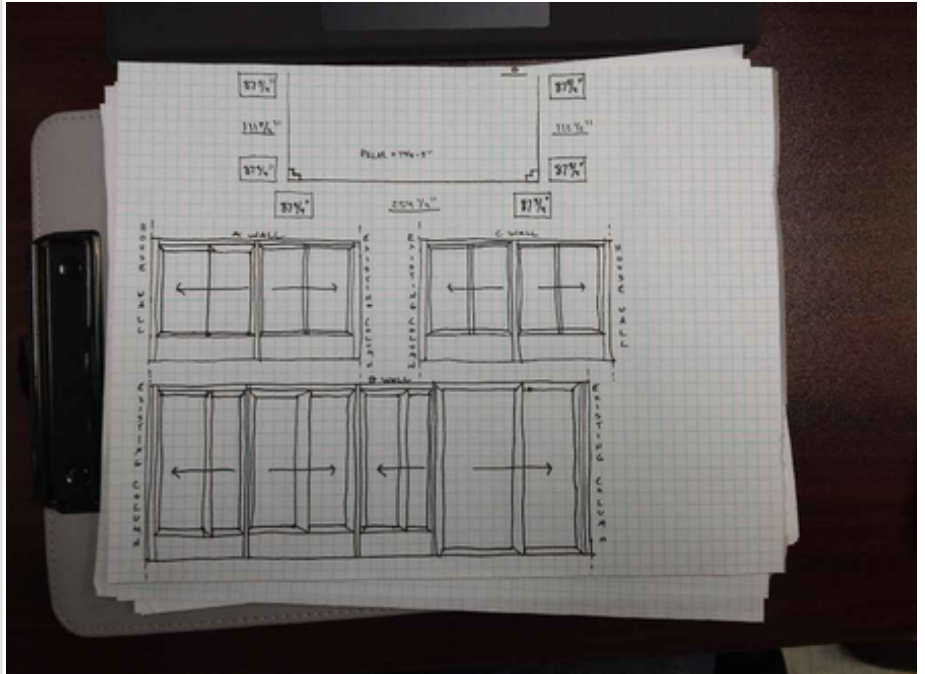
Picture of Walkway or steps



Are there corrections to ROE drawings?

Yes

Picture(s) of initialed ROE drawings



The image contains two hand-drawn architectural sketches of a room's window and door layouts. The top sketch shows a front elevation, and the bottom sketch shows a side elevation. Both sketches include dimensions and labels for the elements.

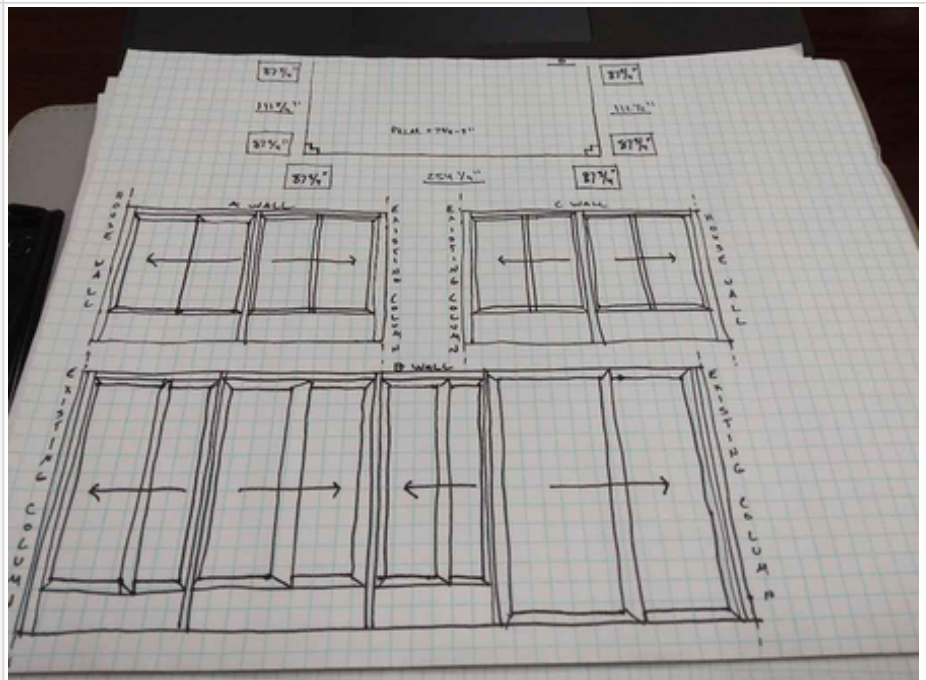
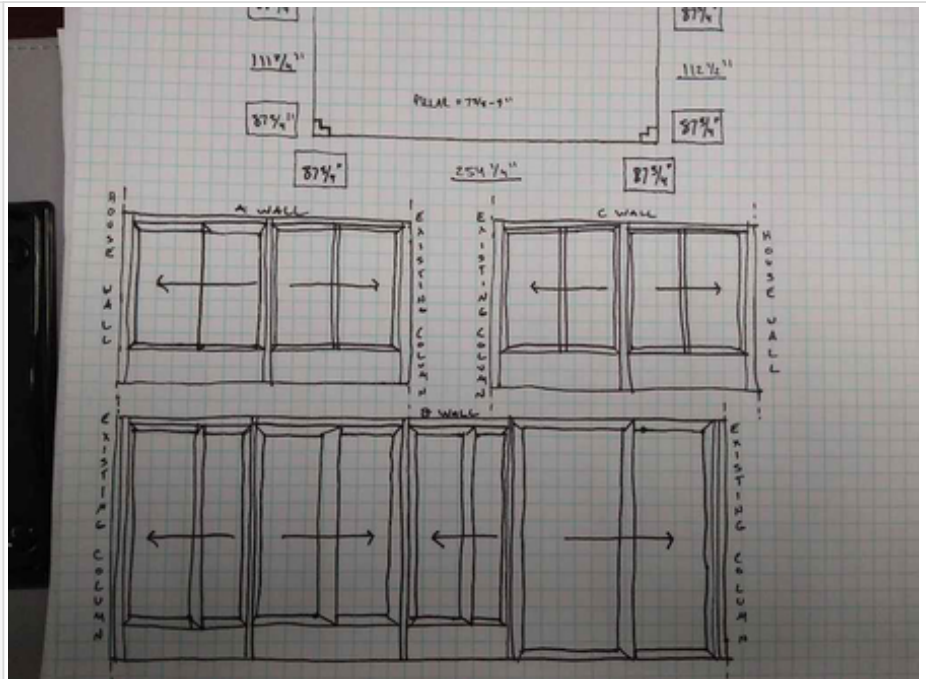
Top Sketch (Front Elevation):

- Door (D WALL):** Located in the center, with a width of $254 \frac{1}{4}"$. The label "D WALL" is written above the door.
- Windows (A WALL and C WALL):** Located on either side of the door. Each window has a width of $87 \frac{3}{4}"$. The label "A WALL" is written above the left window, and "C WALL" is written above the right window.
- Dimensions:**
 - Overall width: $111 \frac{1}{4}"$ (top left), $112 \frac{1}{2}"$ (top right).
 - Door width: $254 \frac{1}{4}"$ (center).
 - Window width: $87 \frac{3}{4}"$ (left and right).
- Labels:** "ROOSE VALU" (left side), "EXISTING COLUMN" (left and right sides), "HOUSE WALL" (right side).

Bottom Sketch (Side Elevation):

- Windows (A WALL and C WALL):** Located on either side of the door. Each window has a width of $87 \frac{3}{4}"$. The label "A WALL" is written above the left window, and "C WALL" is written above the right window.
- Dimensions:**
 - Overall width: $111 \frac{1}{4}"$ (top left), $112 \frac{1}{2}"$ (top right).
 - Door width: $254 \frac{1}{4}"$ (center).
 - Window width: $87 \frac{3}{4}"$ (left and right).
- Labels:** "ROOSE VALU" (left side), "EXISTING COLUMN" (left and right sides), "HOUSE WALL" (right side).

Sunroom Measure Form



House wall protrusions?

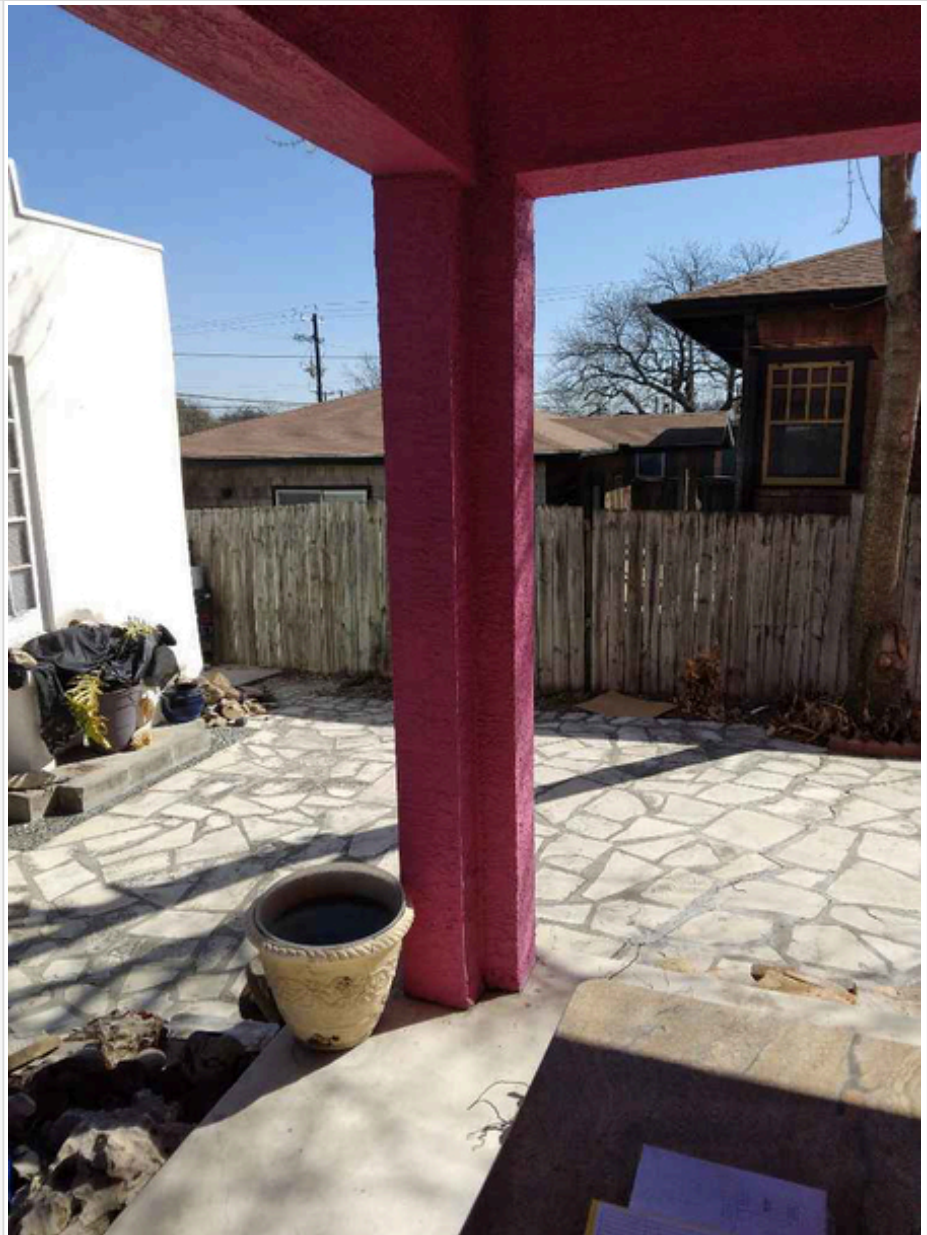
None

Section 8

Roof System	Under Existing Roof
Are post staying?	Yes
Size of posts	8.00inch by inch

Sunroom Measure Form

Picture(s) of posts

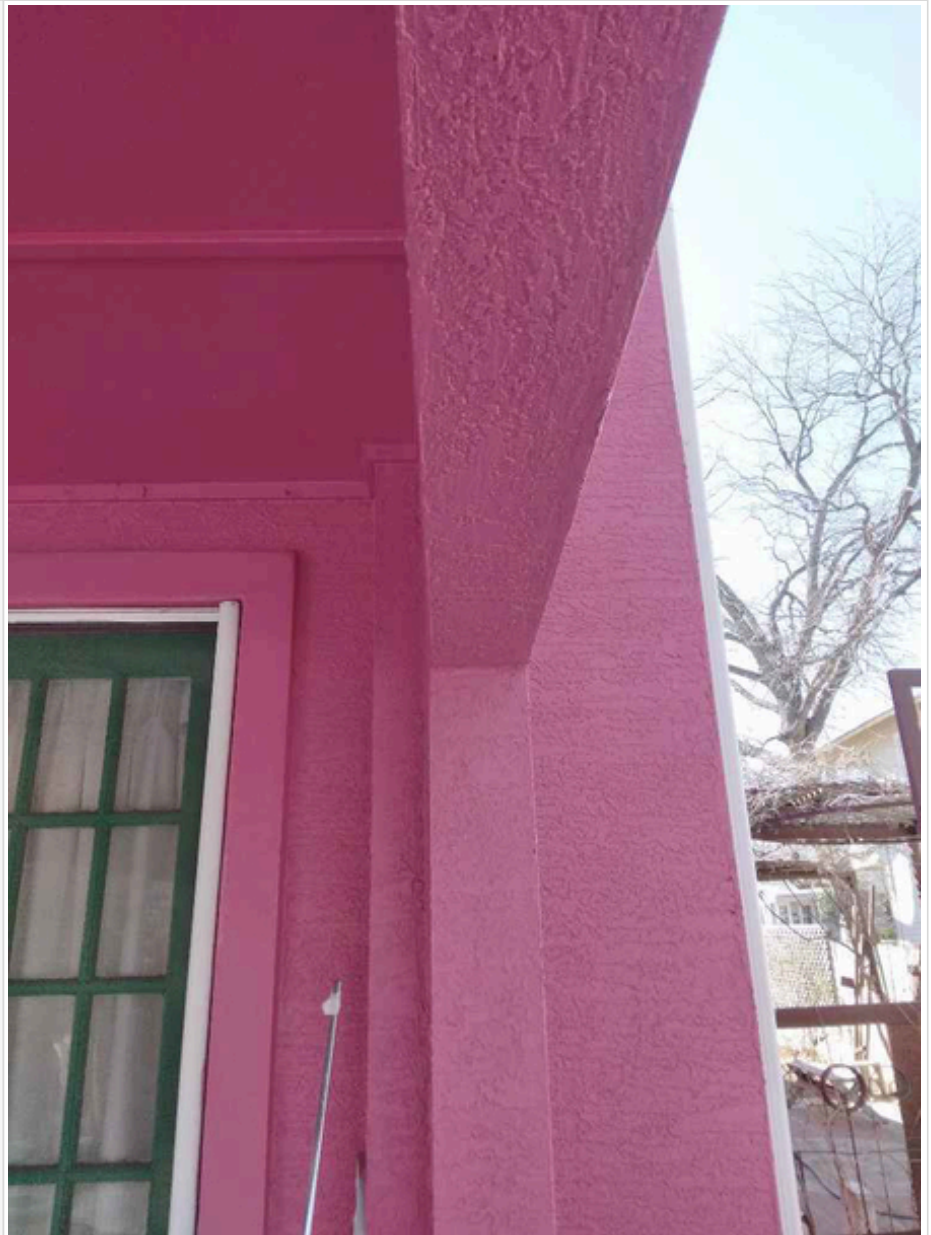


Sunroom Measure Form

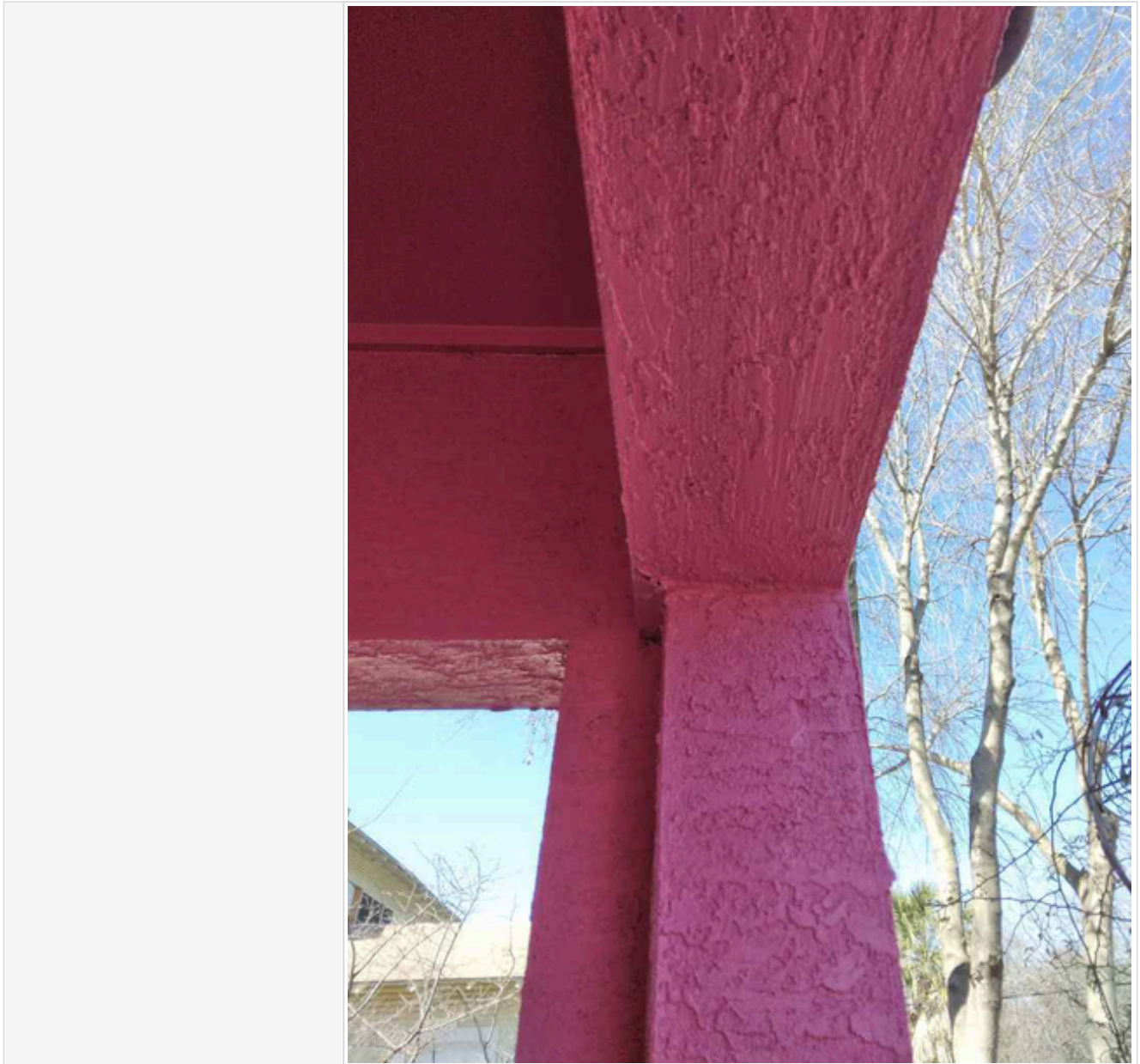
	
Ceiling or Beam width to attach plate	9.000

Sunroom Measure Form


Picture(s) of each ceiling/beam attachment



Sunroom Measure Form



Sunroom Measure Form

			
A Wall Height (Tallest Point)	88		
B Wall Height (Tallest Point)	88		
C Wall Height (Tallest Point)	88		
Bottom of roof height wall mount	-4		
Bottom of Roof Height w/ soffit cut back	-4in.		

Section 9

Are we doing Electrical	N/A
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Section 10

Sunroom Measure Form

Is job more than 70 miles from office?	No
Champion Measure Sheet	
A.	0/12
B.	0inch(s).
C.	9inch(s).
D.	0inch(s).
E.	108inch(s).
F.	88inch(s).

Sunroom Measure Form

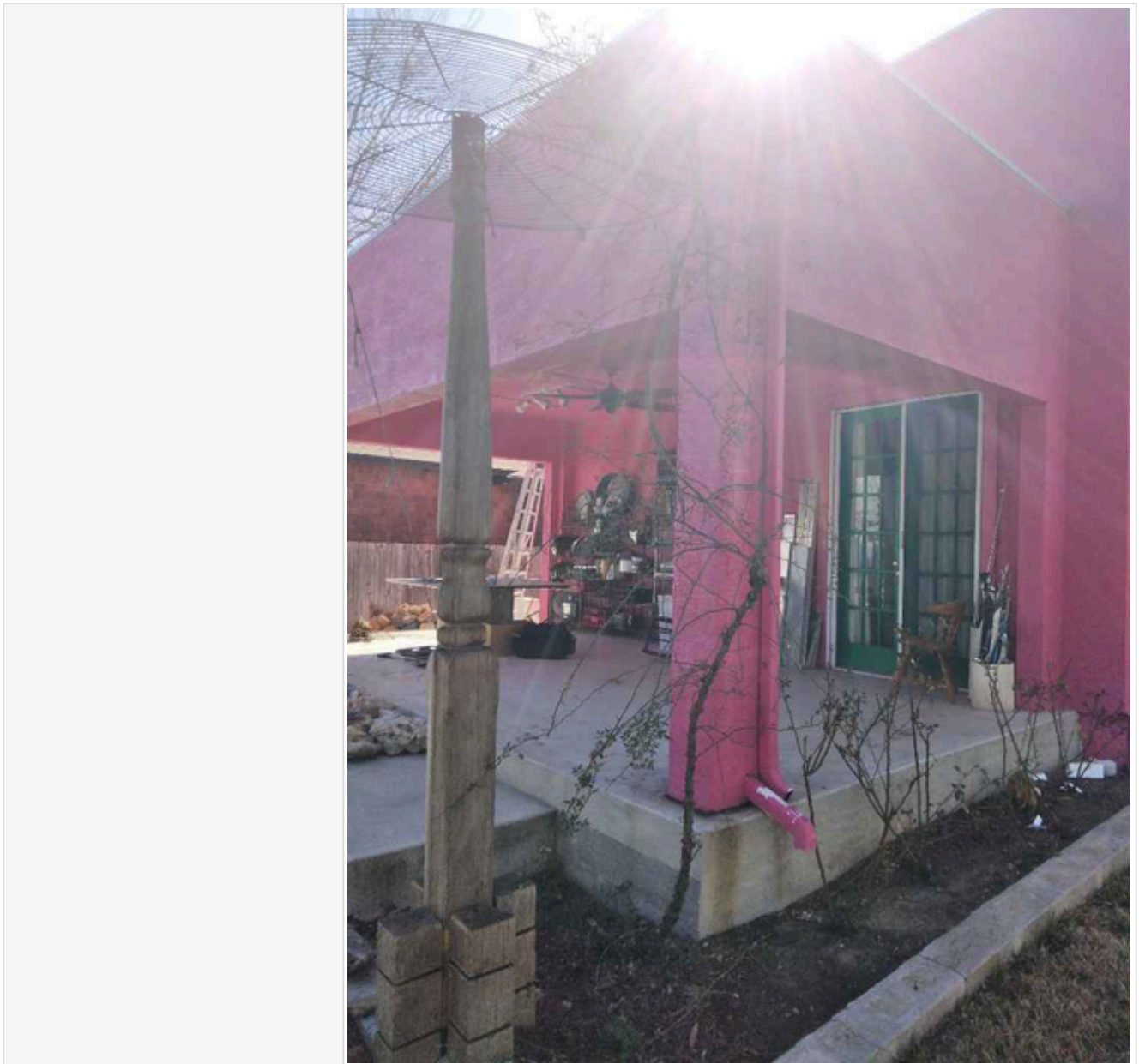
Champion Measure Sheet	
G. (1)	22inch(s).
H.	89inch(s).
N.	112inch(s).
I.	89inch(s).
J.	89inch(s).
G. (2)	0inch(s).
M.	89inch(s).
P.	113inch(s).
L.	89inch(s).
K.	89inch(s).
O.	255inch(s).
Any misc labor?	No
Are we enclosing a bedroom window or door?	No
Any pre-existing conditions (broken property, stained or cracked concrete?)	No
Any special notes or instructions?	Yes
Special notes or instructions?	Job is in historic district. Might have to have a committee meeting to approve.

Sunroom Measure Form

Extra Picture(s)



Sunroom Measure Form



Sunroom Measure Form



Sunroom Measure Form



Sunroom Measure Form

Form Locations

